

LEGEND:

EX FENCE	---	EX LIGHT STANDARD	⊙
EX STORM SEWER	---		
EX BELL PEDESTAL	⊗		
EX GUY WIRE	—		
EX HYDRO POLE	●		
EX GATE	⊗		
EX SIGN	⊙		
EX CATCHBASIN	⊗		

ZONING: CV (VEHICLE COMMERCIAL) (M2-2)

	REQUIRED	PROVIDED
INTERIOR SIDE YARD SETBACK	10.0m	19.99m
FRONT YARD SETBACK	15.0m	44.91m
REAR YARD SETBACK	7.5m	584.5m
MINIMUM 3.0 WIDE LANDSCAPE BUFFER	3.0m	YES
MINIMUM SETBACK TO A DWELLING ON A SEPARATE LOT	20.0m	YES
SETBACK FROM EP ZONE	120.0m	YES
LANDSCAPE FRONT YARD	3.0m	YES
MAXIMUM HEIGHT	12.0m	TBD
MAX. LOT COVERAGE	25%	1.5%
PARKING	1/50m ² GFA	54

- MINIMUM 3.0m WIDE LANDSCAPING STRIP SHALL BE REQUIRED, AND SHALL INCLUDE AN UN-PIERCED GROUPING OF EVERGREEN TREES
- ALL NEW USES AND EXPANSIONS SHALL BE SUBJECT TO SITE PLAN CONTROL
- MOE COMPATIBILITY BETWEEN INDUSTRIAL FACILITIES AND SENSITIVE LAND USES (D-6 GUIDELINE, AS AMENDED OR REPLACED) SHALL APPLY.

*PROPERTY REGULATED BY GRCA

SURVEY INFORMATION:

BENCHMARK REFERENCE:
ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CVGD28 DATUM (1978 ADJUSTMENT) WITH GEODID MODEL HTv2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

SITE BENCH MARK 1:
NAIL ON CONCRETE PAD, ELEV. = 478.00m.

METRIC:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NO.	ISSUED FOR REVIEW	SG	2026-06-19
	REVISION	BY	DATE

DRAWING REVISION SCHEDULE

Van Harten
LAND SURVEYORS - ENGINEERS

Kitchener/Waterloo Ph: 519-742-9374	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
www.vanharten.com		info@vanharten.com

STAMP 	CAUTION: THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES. SOIL BEARING CAPACITY SHOULD BE VERIFIED AT THE TIME OF CONSTRUCTION. THE BUILDER MUST ENSURE A MINIMUM OF 1.22m OF EARTH COVER OVER THE FOOTINGS FOR FROST PROTECTION. THIS SKETCH IS PROTECTED BY COPYRIGHT.
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CLIENT: ALL TO CONSTRUCTION

PROJECT No: 27179-19

PROJECT: PROPOSED OFFICE AND EQUIPMENT STORAGE 202205 COUNTY ROAD 109 TOWN OF GRAND VALLEY

DRAWING TITLE: SITE PLAN

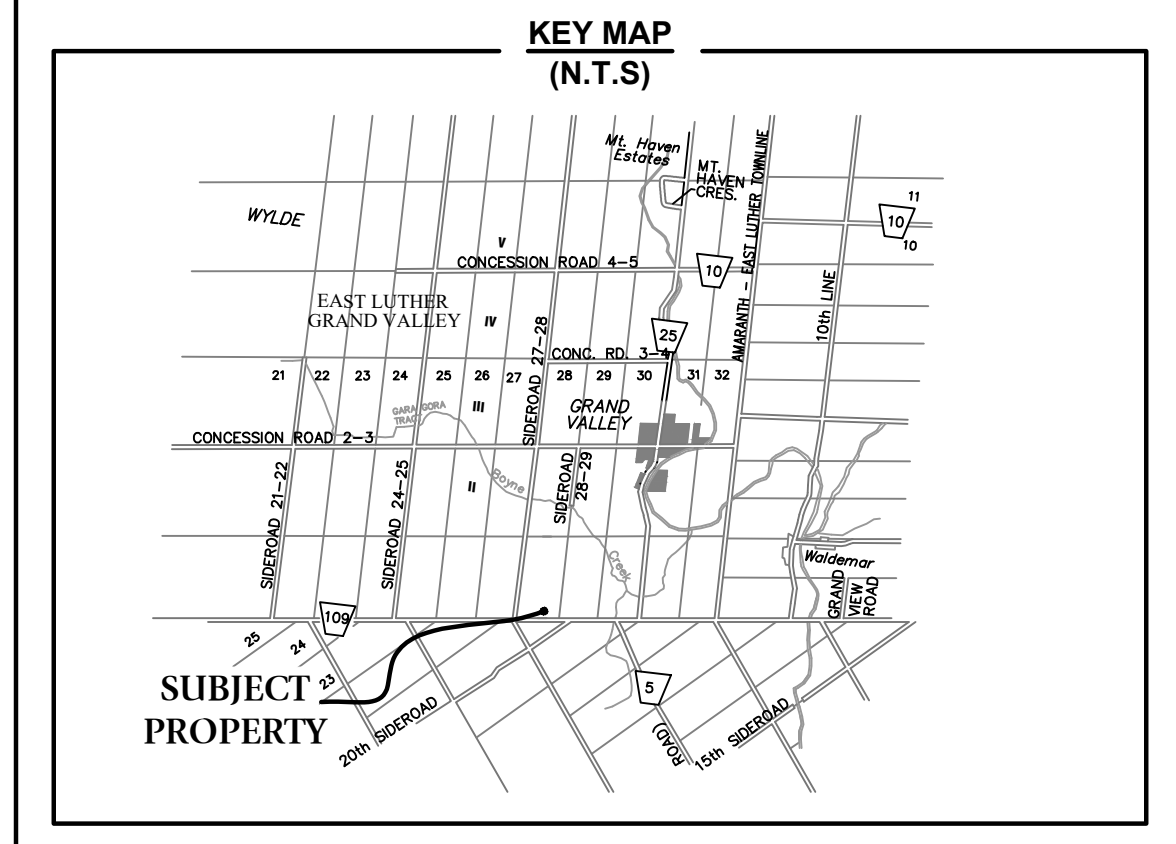
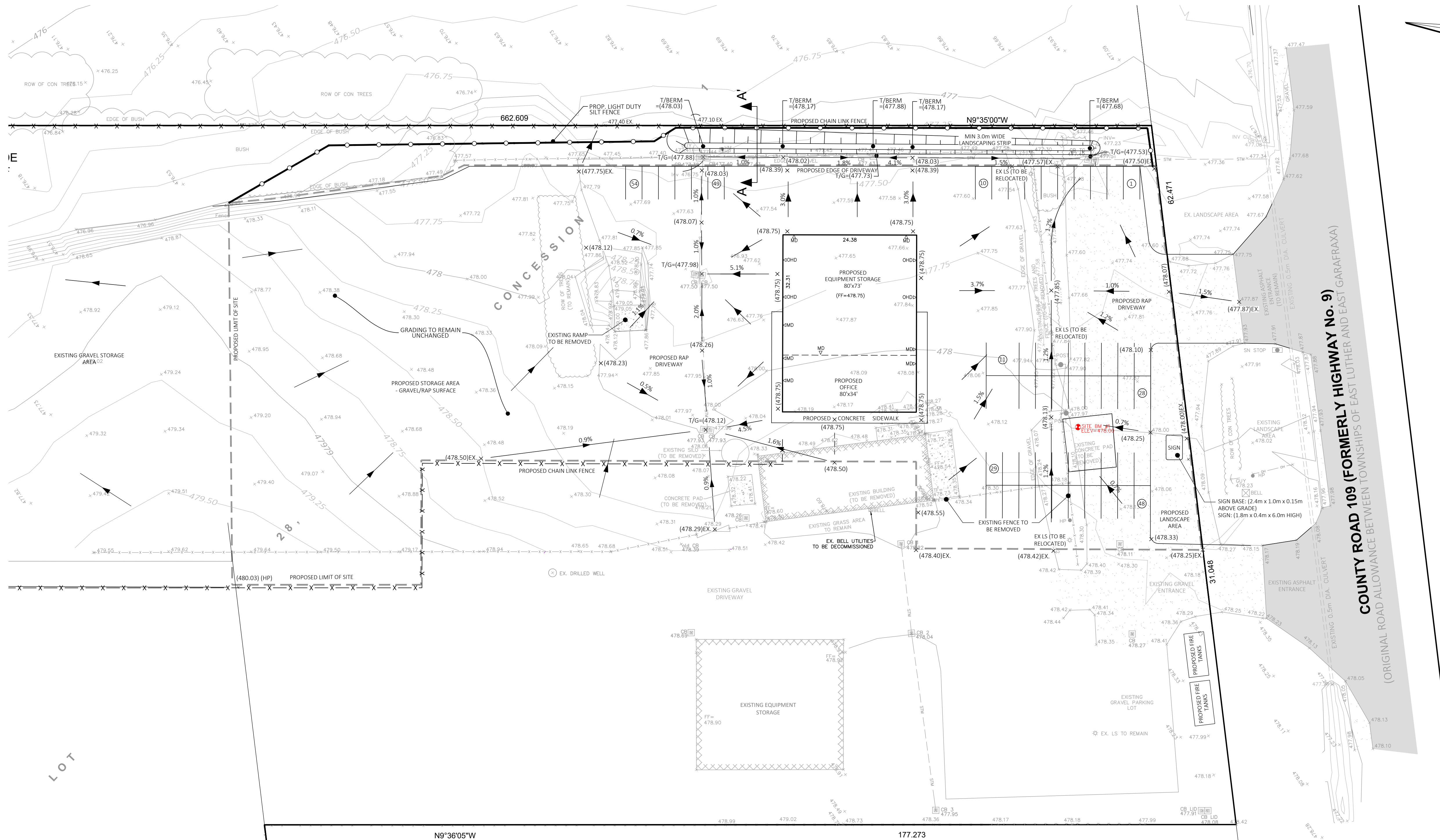
SHEET No: 1 OF 2
DRAWING No: C01
REVISION: 0

DRAWING SCALE: 1:300

NOT FOR CONSTRUCTION

DRAWING SCALE: 1:300
0 5 10 15 meters
VAN HARTEN SURVEYING INC.

CALL BEFORE YOU DIG
THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY. PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.



LEGEND:

EX. FENCE	---	EX. BELL PEDESTAL	⊗ BELL
EX. OVERHEAD HYDRO	—o—o—o—	EX. GUY WIRE	⊗ GUY
EX. STORM SEWER	—S—S—S—	EX. HYDRO POLE	● HP
EX. ELEVATION	x 478.12	EX. GATE	⊗
PROP. GRADE	x (478.13)	EX. SIGN	⊗ SN STOP
PROP. SLOPE	2.0%	EX. CATCHBASIN	⊗
PROP. SWALE	2.0%	EX. UTILITY POST	⊗ POST
3H:1V MAX. SLOPE	3:1	PROP. SILT FENCE	⊗

ZONING: CV (VEHICLE COMMERCIAL) (M2-2)

	REQUIRED	PROVIDED
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MAXIMUM HEIGHT	12.0m	TBD
MAX. LOT COVERAGE	25%	1.3%
PARKING	1 / 50m² GFA	54

- MINIMUM 3.0m WIDE LANDSCAPING STRIP SHALL BE REQUIRED, AND SHALL INCLUDE AN UN-PIERCED GROUPING OF EVERGREEN TREES
- ALL NEW USES AND EXPANSIONS SHALL BE SUBJECT TO SITE PLAN CONTROL
- MORE COMPATIBILITY BETWEEN INDUSTRIAL FACILITIES AND SENSITIVE LAND USES (0-6 GUIDELINE, AS AMENDED OR REPLACED) SHALL APPLY.

*PROPERTY REGULATED BY GRCA

PROPOSED OFFICE / SHOP:

TOP OF FOUNDATION	= (478.95)
UNDERSIDE OF FOOTING	= (477.53)
FINISHED FLOOR	= (478.75)
GARAGE SLAB	= (478.75)
GARAGE CUT	= 0.20m

NOTES:

- FINAL BUILDING PLANS NOT AVAILABLE.

METRIC:

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NO.	ISSUED FOR REVIEW	REVISION	BY	DATE
1	ISSUED FOR REVIEW		SG	2026-06-19

DRAWING REVISION SCHEDULE

Van Harten
LAND SURVEYORS - ENGINEERS

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DRAWING SCALE: 1:400

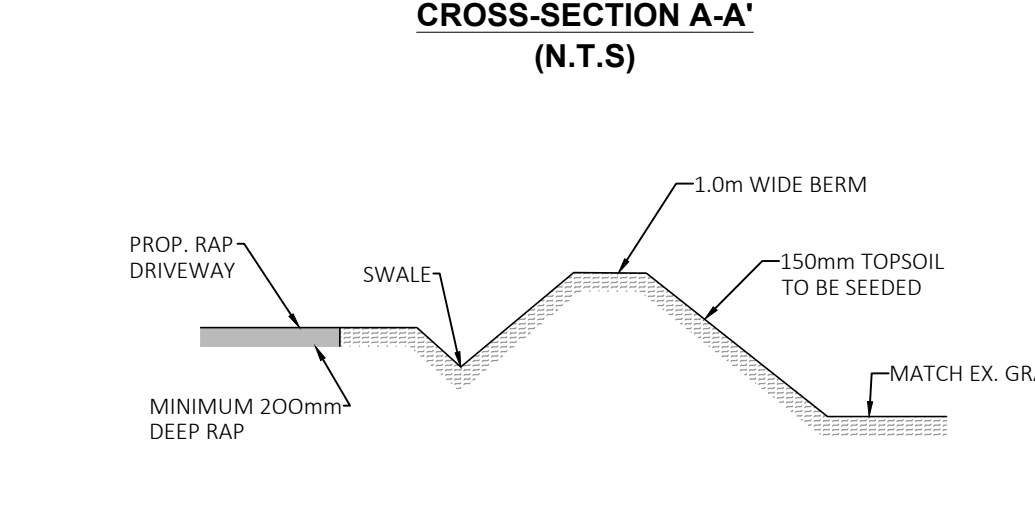
0 10 20 metres

VAN HARTEN SURVEYING INC.

- GENERAL NOTES:**
- THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.
 - CONSTRUCTION FOR THIS PROJECT TO COMPLY WITH MOST RECENT VERSION OF TOWN OF GRAND VALLEY DEVELOPMENT MANUAL, THE ONTARIO BUILDING CODE, AND OPSD. ALL UNDERGROUND SERVICE MATERIALS AND METHODS TO BE IN ACCORDANCE WITH THE LATEST APPLICABLE CODES AND STANDARDS.
 - ALL CONSTRUCTION TO BE CARRIED OUT IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
 - THE OWNER IS RESPONSIBLE FOR THE COORDINATION OF ALL REQUIRED UTILITIES.
 - TEMPORARY SEDIMENT CONTROLS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION ON SITE AND MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD TO THE SATISFACTION OF THE TOWN OF GRAND VALLEY, COUNTY OF DUFFERIN AND THE GRAND RIVER CONSERVATION AUTHORITY. REFER TO DRAWING CD-4 EROSION AND SEDIMENT CONTROL PLAN FOR TYPICAL CONTROLS.
 - DISTURBED AREAS TO BE MINIMIZED TO THE EXTENT POSSIBLE, AND TEMPORARILY OR PERMANENTLY STABILIZED OR RESTORED AS THE WORK PROGRESSES.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK WHETHER SHOWN ON THE PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RELATING TO DAMAGE OF SAME.
 - THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES, FOR THE PURPOSES OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
 - SOIL BEARING CAPACITY TO BE VERIFIED BY OTHERS AT THE TIME OF CONSTRUCTION.
 - A GEOTECHNICAL CONSULTANT SHOULD BE RETAINED TO CARRY OUT NECESSARY INSPECTIONS AND TESTING DURING CONSTRUCTION TO ENSURE PROPER PLACEMENT OF MATERIALS AND ADEQUATE COMPACTION.
 - THE BUILDER SHALL ENSURE THAT A GEOTECHNICAL ENGINEER CONDUCT AN EXCAVATION INSPECTION AT THE TIME OF CONSTRUCTION. IF GROUNDWATER IS ENCOUNTERED, THE FOUNDATION WILL HAVE TO BE RAISED WITH GRADING ADJUSTED ACCORDINGLY.
 - ANY ERRORS, OMISSIONS AND/OR CHANGE OF CONDITIONS ON SITE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PERFORMING THE RELATED WORK.

- GRADING NOTES:**
- UNDERSIDE OF FOOTING TO BE MINIMUM 1.22m BELOW EXTERIOR GRADES AROUND BUILDING.
 - TOP OF FOUNDATION WALL TO BE MINIMUM 0.15m ABOVE EXTERIOR GRADES AROUND BUILDING.
 - LOT TO BE GRADED SO THAT WATER DOES NOT POND AT/NEAR BUILDINGS.
 - DRIVEWAY AND PARKING AREAS TO BE BETWEEN 1% AND 5% UNLESS OTHERWISE NOTED.
 - TACTILE WARNING PLATES ARE TO BE PROVIDED AT ALL DROP CURB LOCATIONS PER OPSD 310.039.
 - ACCESSIBLE PATH TO BE GRADED AT MAXIMUM 5%.
 - ALL LANDSCAPE AREAS ON SITE TO BE RESTORED WITH MINIMUM OF 150mm TOPSOIL AND SEED OR SOD UNLESS OTHERWISE SPECIFIED BY LANDSCAPE PLANS.
 - MATCH EXISTING GRADES AT ALL PROPERTY LIMITS. GRADING NOT TO EXTEND onto ADJACENT PROPERTIES WITHOUT PRIOR WRITTEN CONSENT OF ADJACENT PROPERTY OWNER.
 - SLOPES TO BE MAXIMUM 3H:1V UNLESS OTHERWISE NOTED.
 - SWALES TO HAVE A MINIMUM LONGITUDINAL GRADE OF 0.5% AND MAXIMUM SIDE SLOPES OF 3H:1V.
 - CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM PROPOSED WELL CASING.
 - UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL CONSULTANT, ALL PARKING GRANULAR MATERIAL TO BE COMPACTED TO 100% STANDARD PROCTOR MAX DRY DENSITY.
 - UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL CONSULTANT, ALL GENERAL BACKFILL TO BE APPROVED MATERIAL AND COMPACTED TO MINIMUM 95% STANDARD PROCTOR MAX DRY DENSITY.
 - FILL MATERIALS TO BE FREE OF ANY DELETERIOUS MATERIAL INCLUDING DEBRIS, LARGE ROCKS, ORGANICS, ETC. FILL MATERIAL TO BE FREE FROM LENSES, POCKETS OR LAYERS OF MATERIAL WHICH ARE SIGNIFICANTLY DIFFERENT IN GRADATION FROM SURROUNDING MATERIAL IN THE SAME ZONING. CARE SHOULD BE TAKEN TO ENSURE THAT FILL MATERIAL DOES NOT SEGREGATE DURING TRANSPORTATION OR STORAGE. IF SEGREGATION OCCURS, MATERIAL SHOULD BE MIXED PRIOR TO PLACEMENT.
 - ALL EARTHWORKS ACTIVITIES TO BE UNDERTAKEN IN COMPLIANCE WITH O.Reg 406/19 REGARDING ON-SITE AND EXCESS SOIL MANAGEMENT.

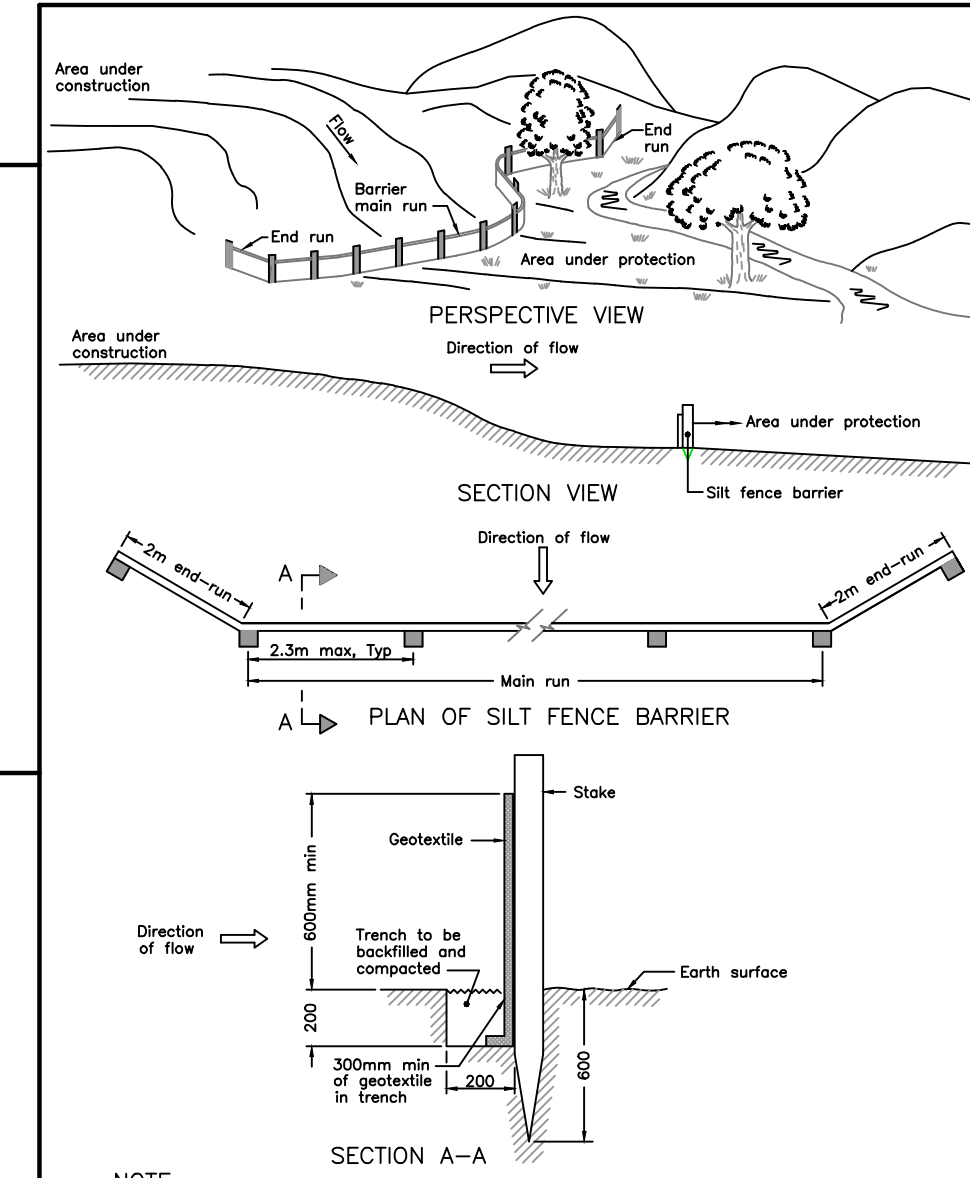
- WORKS WITHIN THE MUNICIPAL RIGHT OF WAY**
- AN ENTRANCE PERMIT IS REQUIRED PRIOR TO CONSTRUCTION OF THE PROPOSED SITE ENTRANCE.
 - A ROAD OCCUPANCY PERMIT IS REQUIRED PRIOR TO ANY CONSTRUCTION WITHIN THE MUNICIPAL RIGHT-OF-WAY.
 - CONTRACTOR TO COMPLY TO REQUIREMENTS OF ENTRANCE PERMIT AND ROAD OCCUPANCY PERMIT. WHERE THE PERMITS DIFFER FROM THESE NOTES, THE PERMIT CONDITIONS SHALL TAKE PRECEDENCE.
 - ALL WORKS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE AT THE DEVELOPER'S COST AND ARE TO BE COMPLETED BY A COUNTY APPROVED CONTRACTOR.
 - CONTRACTOR TO BE RESPONSIBLE FOR PROPERLY COMPACTING BACKFILL MATERIAL AND RESTORING SURFACES TO EXISTING CONDITIONS OR BETTER TO THE SATISFACTION OF THE COUNTY OF DUFFERIN.
 - BOULEVARDS TO BE RESTORED WITH MINIMUM 200mm TOPSOIL AND No. 1 NURSERY SOD TO THE SATISFACTION OF THE COUNTY OF DUFFERIN.
 - ROAD MUST BE MAINTAINED TO A MINIMUM OF ONE LANE AT ALL TIMES FOR EMERGENCY ACCESS PER OTM GUIDELINES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH THE ONTARIO TRAFFIC MANUAL, BOOK 7 - TEMPORARY CONDITIONS.



CALL BEFORE YOU DIG

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NOT FOR CONSTRUCTION



NOTE:

A All dimensions are in millimetres or metres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING 1996 02 01 Rev

LIGHT DUTY SILT FENCE BARRIER

Date _____

OPSD - 219.110

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CLIENT: ALL TO CONSTRUCTION

PROJECT No: 27179-19

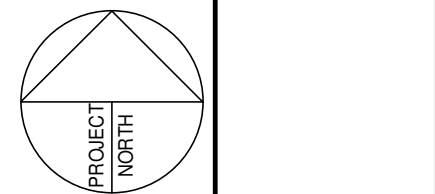
PROJECT: PROPOSED OFFICE AND EQUIPMENT STORAGE 202205 COUNTY ROAD 109 TOWN OF GRAND VALLEY

DRAWING TITLE: GRADING AND DRAINAGE PLAN

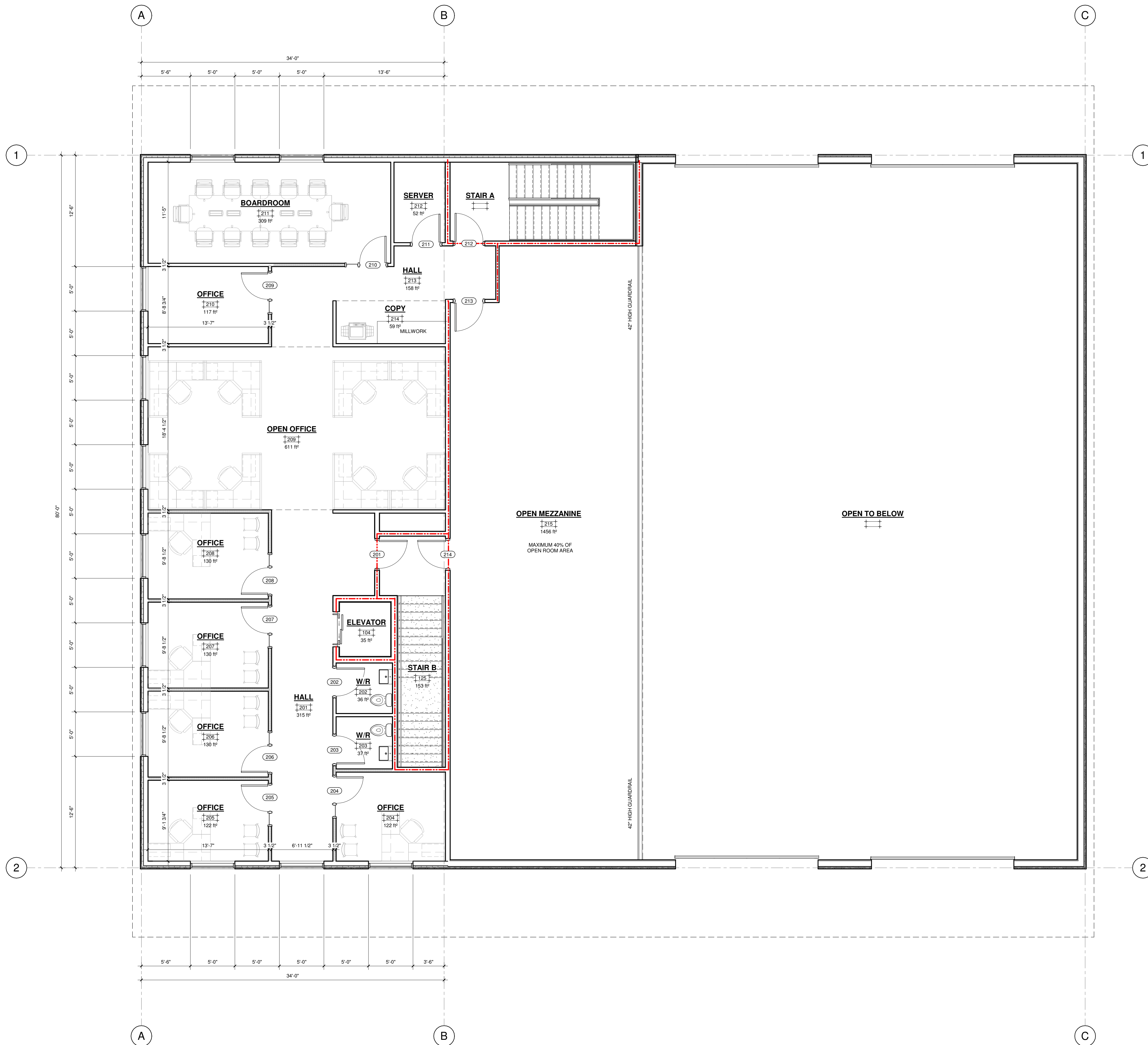
SHEET No: 2 OF 2 **DRAWING No:** C02 **REVISION:** 0

DRAWING SCALE: 1:400

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No.	Date	Revision / Issued for
3	MAY 19, 2025	REVISION TO TWO STOREY
4	JUNE 1, 2025	LEASEHOLD REVISIONS, ADD MEZZANINE



SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



176 Speedvale Avenue West
Guelph, Ontario N1H 1C3
Tel: 519.763.2000
www.tacomaengineers.com

For Review
2026-06-01 7:01:29 PM



NEW
EQUIP STORAGE AND OFFICE
202205 DUFFERIN ROAD 109, GRAND VALLEY, OH

SECOND FLOOR PLAN

Project No: TE-46164-26 Drawn By: S.KOLKMAN

A1.1

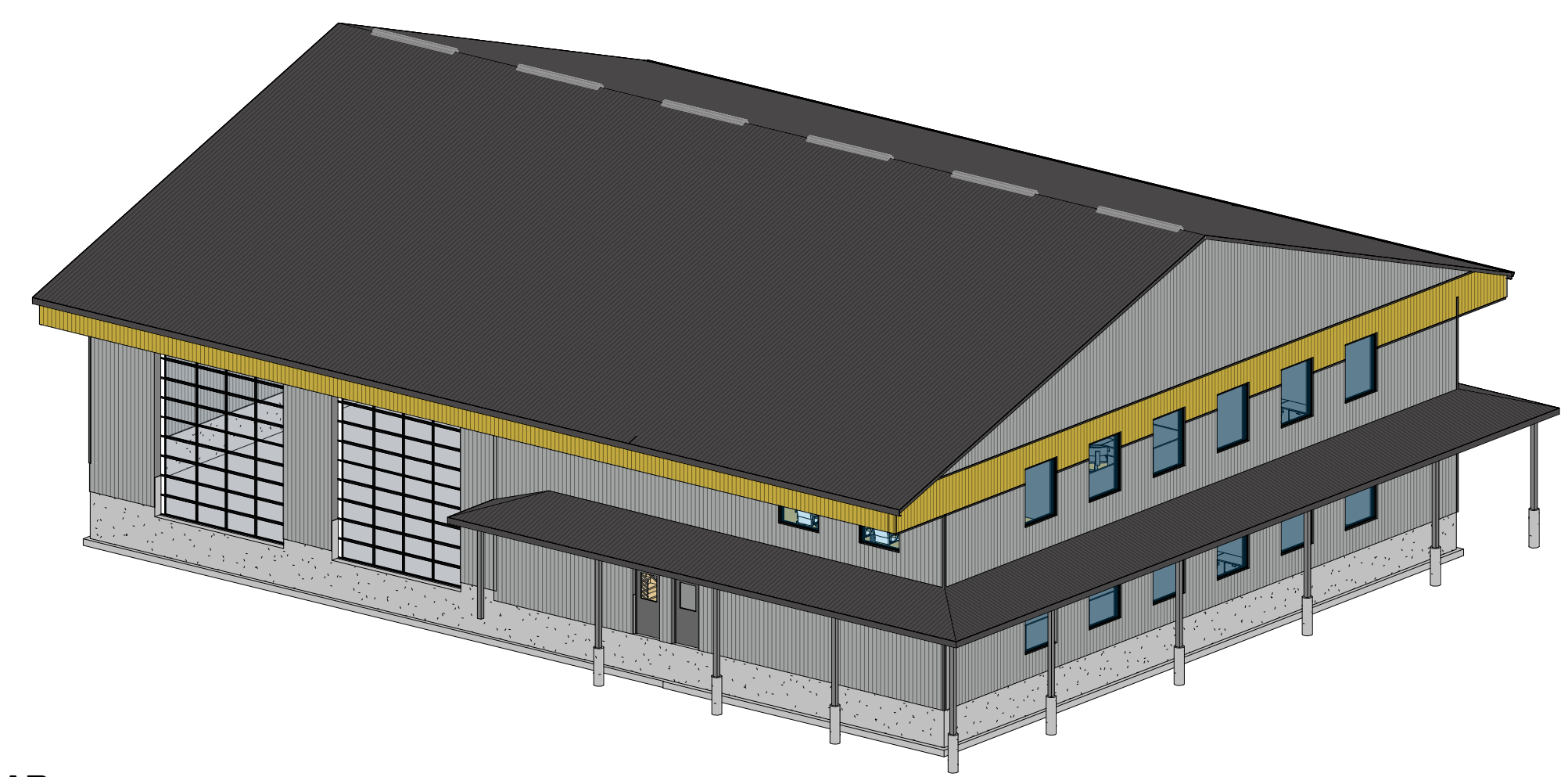
EXTERIOR MATERIALS SCHEDULE

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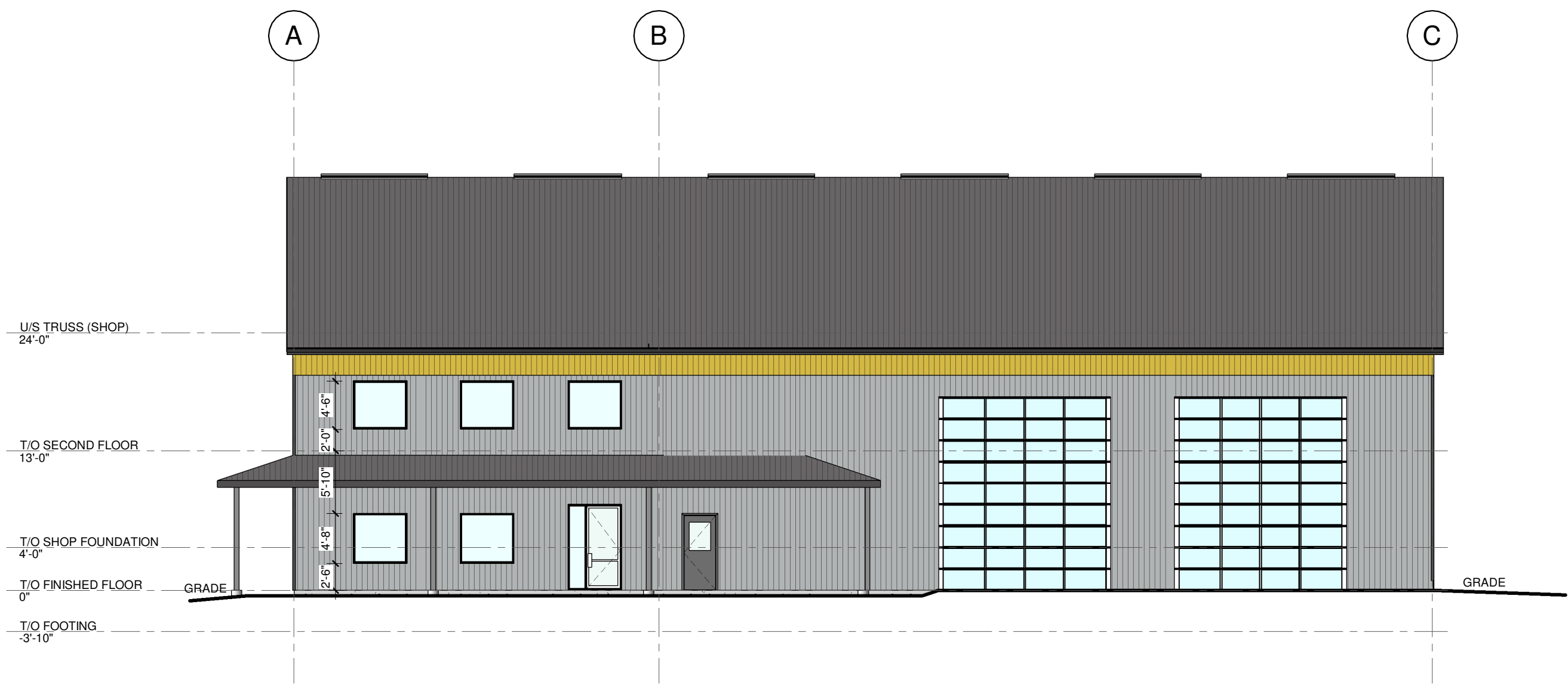
No.	Date	Revision / Issued for:
1	MAR. 26, 2025	CLIENT REVIEW
2	MAY 19, 2025	REVISION TO TWO STOREY
3	JUNE 1, 2025	LEASEHOLD REVISIONS, ADD MEZZANINE



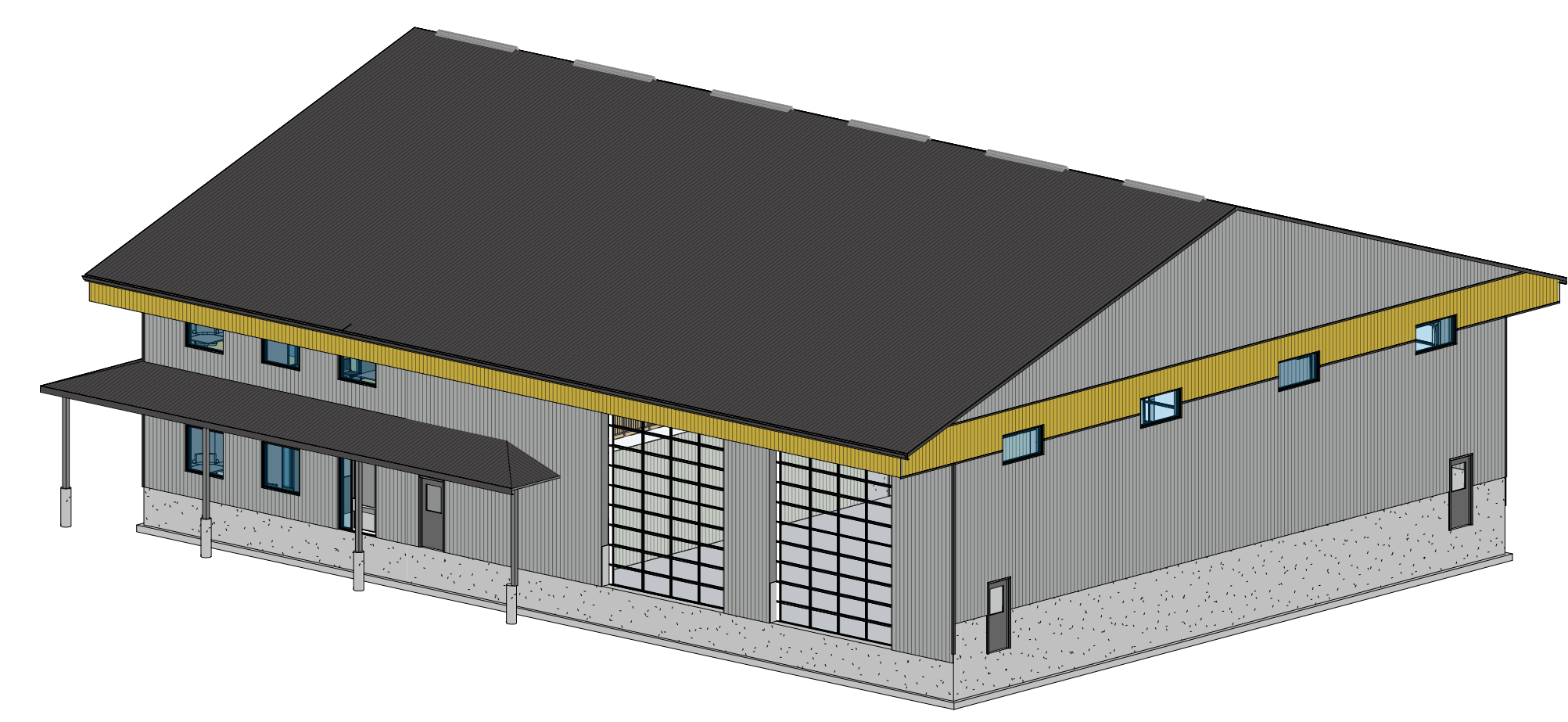
NORTH ELEVATION
SCALE: 3/32" = 1'-0"



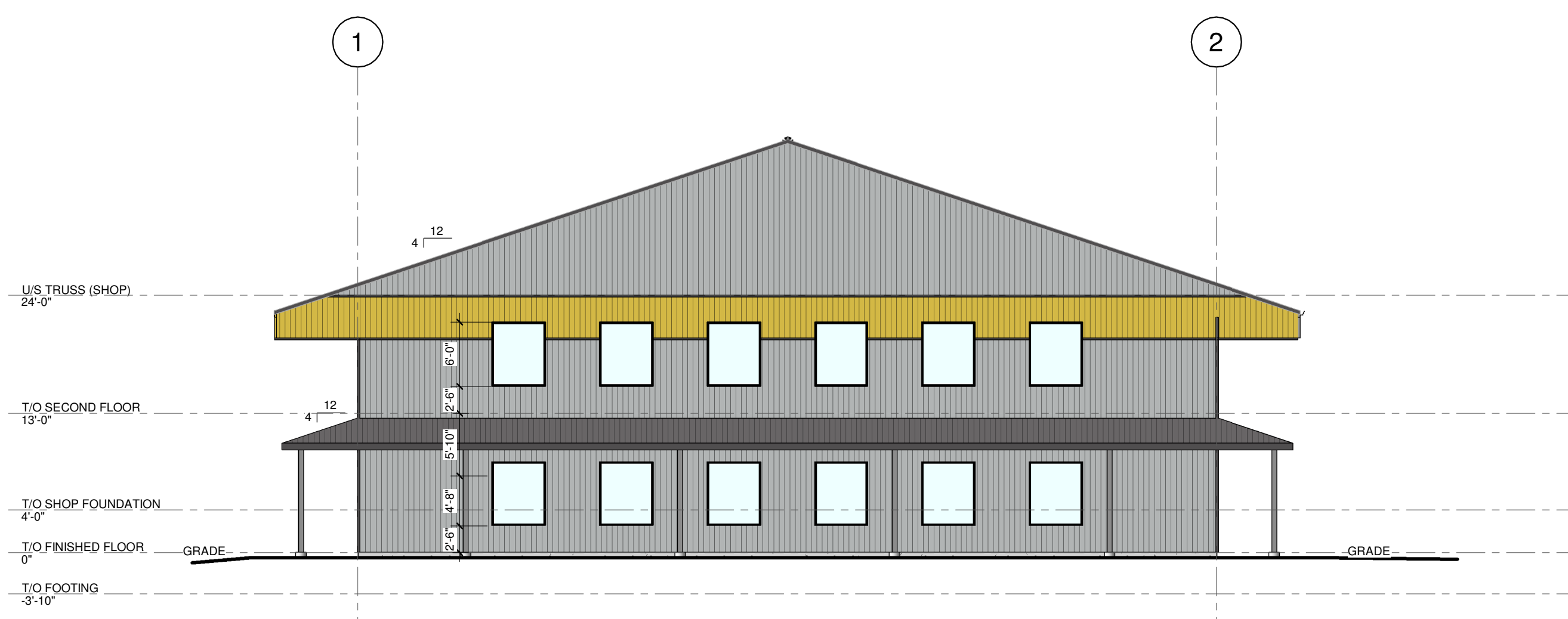
3D REAR
SCALE:



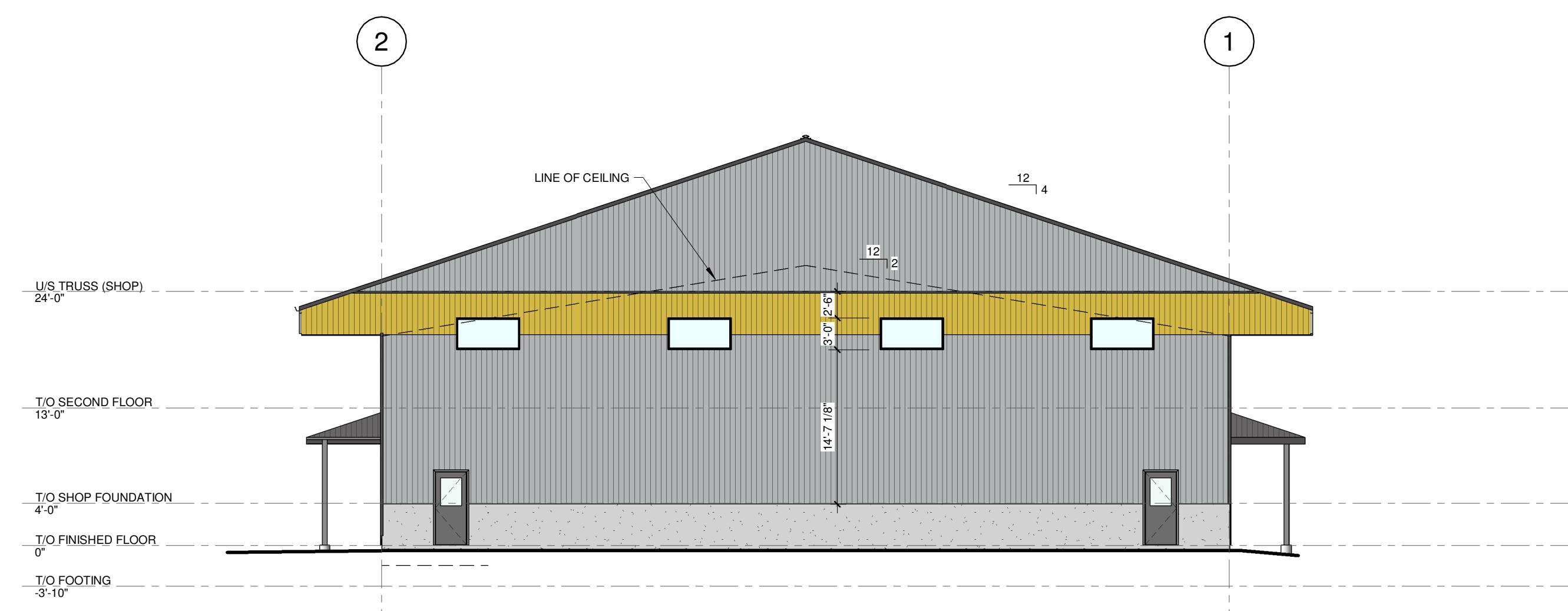
SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



3D FRONT
N.T.S.



WEST ELEVATION
SCALE: 3/32" = 1'-0"



EAST ELEVATION
SCALE: 3/32" = 1'-0"



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For Review
2026-06-01 7:01:29 PM



NEW
EQUIP STORAGE AND OFFICE
202205 DUFFERIN ROAD 109, GRAND VALLEY, ON

ELEVATIONS

Project No: TE-46164-26
Drawn By: S.KOLKMAN

A2.0

Sewage System Design



Customer Name: Allto Holdings Inc
 Project Address: 202205 County Rd 109, Grand Valley, ON
 Date: June 19, 2026
 Designed By: Nick Acchione

Proposed Commercial Building

'T' time T= > 50.00

Office Use

# of Workers/8hr shift x 75	40.00 qty
Total = 40 workers x 75	3,000.00 l/day
OR	
Floor Area	473.01 m2
# of Units per 9.3m2 of Floor area	50.86 qty
Multiplication Factor per # of Units	75.00
Office Use Total	
# of Units per 9.3m2 x Multiplicatio Factor = 51 x 75	3,825.00 l/day

Warehouse Use

# of Bay Doors + # of Water Closets x # of Units	
150l/d per Bay Door	4.00 qty
950l/d per Water Closet	0.00 qty
Warehouse Use Total	Qty
4 Bay Door @ 150 l/d + 0 Water Closet 950 l/d =	600.00 l/d

Design Total

Factory Use + Wharehouse Use = 3,825 + 600 l/d =
Total Daily Design "Q" 4,425.00 l/day

Daily design flow "Q" represents a peak flow and is not considered acceptable as a daily average flow.

Septic Tank Sizing:

<u>Type</u>	<u>"Q"</u>	<u>Multiplier</u>	<u>Septic Tank Size (L)</u>
Commerical	4,425	3.00	13,275.00
		Design =	13,500.00

Pump Tank Sizing (Time Dosed):

<u>Type</u>			<u>Tank Size (L)</u>
Precast Concrete Tank	One Day Flow Volume =	4,425.00	L/d
	Design Tank Size =	5,400.00	L
	Timed Dosing per Hour = Q / 24hr = 4,425l / 24/hour =	184	L/hr

Ecoflo ST650 System:

Ecoflo ST-650 Unit Capacity (Time Dosed)	2,500.00	L/d
# of Units required = Q / 2500 = 4,425 / 2500	1.77	qty
Design=	2.00	# of units


Type A Dispersal Beds:

Area of stone if $Q > 3000L = Q/50 =$	88.50	m ²
Area of stone if $Q \leq 3000L = Q/75 =$	59.00	m ²
Design	100.00	m ²
Area of sand if $T > 15 \text{ min/cm} = QT/400 =$	553.13	m ²
Area of sand if $T \leq 15 \text{ min/cm} = QT/850 =$	260.29	m ²
Design	580.00	m ²

Septic Design Brief:

We propose to install a new 13,500 Liter concrete Septic tank with Effluent Filter and risers to surface that will gravity feed to a 5,400 liter pump tank. The pump will dose 184L per event to the two ecoflo ST650 units.

The EcoFlo treatment system will consist of two ST650 treatment units set on a type a dispersal beds with a contact area of 100m², (>90.00m²) complete with an extended contact area of 580m². A distribution box will supply each unit. Ecoflo units to be detectable by means of 15M rebar at the outside corners and to meet all set back requirements laid out by the Ontario Building Code.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.		
Qualification Information: (Required unless design is exempt under 3.2.4.1 of the OBC)		
Nick Acchione		110044
Name	Signature	BCIN#
Registration Information: (Design is exempt under 3.2.4 of Division C of the OBC)		
Allto Construction Ltd.		17183
Firm Name		BCIN#

